



Early Learning Center 5 Maxwell Drive

Referendum Presentation
3-28-2023 BOE Special Meeting



Shenendehowa *Central School District*





REFERENDUM PLANNING

THE BIG REVEAL - WHAT'S NEXT?

“What-If” versus Reality

- With 5 Maxwell Drive in hand, we have gone from engaging in a lot of “what-if” conversations to planning for defined benefits
- This is a critical point considering that some will ask about the stated intention of purchasing land in Halfmoon with the possibility of constructing a school
 - ◆ YES, for almost five years, we engaged in an intense review of open spaces larger than 20 acres in Halfmoon
 - ◆ YES, we engaged with various real estate representatives/land owners and walked multiple properties to assess viability
 - ◆ YES, we engaged in various engineering studies, we completed assessment valuations, we even made tentative offers



REFERENDUM PLANNING

THE BIG REVEAL - WHAT'S NEXT?

“What-If” versus Reality

- The reality is, the purchasing of property that meets current and future needs has not come to pass at this point, but is not off the table
- ◆ At the right price point and the appropriate number of acreage, obtaining developable land is still a priority
- The Shenendehowa Central School District is not time bound and consequently our obligation continues to be preserving capacity for future use



REFERENDUM PLANNING

THE BIG REVEAL - WHAT'S NEXT?

“What-If” versus Reality



- We completed due diligence and closed on 5 Maxwell Drive
 - ◆ Tremendous gratitude for the donation by Don and Beverly Greene and family
- **150,000 square foot** of commercial space is now owned by the district...**almost equivalent to Arongen (98,863 sq ft) and any campus elementary school (58,675) combined**
- We go from a “**what-if**” – **3 to 5 years timeline** with an **unknown initiation date** to having a “**reality**” – **2 to 3 year timeline**

5 MAXWELL DRIVE





KEY FACTORS THAT DRIVE LAYOUT AND DESIGN

1. What are the goals, key objectives? What are we looking to accomplish? What do we want to gain from the investment into 5 Maxwell Drive? ✓
2. What are the specific academic **program needs**? ✓
3. What are the **NYSED Requirements and Code**?
4. What are the **factors consider for recommended layout** of the space to address program needs and overall goals?
5. How much will it **cost** to do so in comparison to if we were building from scratch?
6. How do we **minimize the cost impact**? Bonding strategy? State Aid? Elimination of some recurring costs?
7. How long will it take? **Timeline**?

5 MAXWELL DRIVE | Q-1: Goals- Break Down

- **Goal:** Provide an Early Learning Center with **at least 40** classrooms for kindergarten and potentially some pre-K purposes
 - Recommended plan calls for the construction of **42 new classrooms**...36 expected to be used for Kindergarten and 6 others available for pre-K
- **Goal:** Reduce congestion at the elementary schools and create additional classroom capacity at all 8 elementary schools
 - Potentially **24 classrooms will be made available** district wide, which provides flexibility for enrollment growth at the elementary level
 - Potentially **3** available classrooms at the MS, **3** available classrooms at HSW, and **3** at HSE



5 MAXWELL DRIVE | Q-1: Goals- Break Down

- **Goal:** Expand capacity for alternative education programming
 - Allows for the space for programs such as Center-based Special Education Programs
 - Space for alternative programs such as tutoring, college course options, continuing education...and potentially much more
- **Goal:** Maximize space & Reuse as much as possible
 - Consolidation of district operations, including Human Resources, Special Education, Food Services, Business and Finance, Tax Collection, Central Purchasing, Professional Development, Curriculum and Instruction, Accountability, Student Growth, Central Registration, Academic Administrators, Superintendent's Office, ...with minimal reconstruction of some existing offices



5 MAXWELL DRIVE | Q-1: Goals- Break Down

- **Goal:** Consolidate warehouse storage
 - Massive basement storage allows for the elimination of leasing three different warehouses now used for Central Purchasing, Records Management, food service, and general storage
 - Provides space for storing and parking maintenance equipment (driving mowers, vehicles) that are now exposed to the climate year-round

Goals developed after meeting with various administrators who provided feedback from their areas of expertise

- Elementary principals, head of IT, district purchasing agent, food service, transportation, facilities, project manager, engineers, the district administration, and the architects and engineers





KEY FACTORS THAT DRIVE LAYOUT AND DESIGN

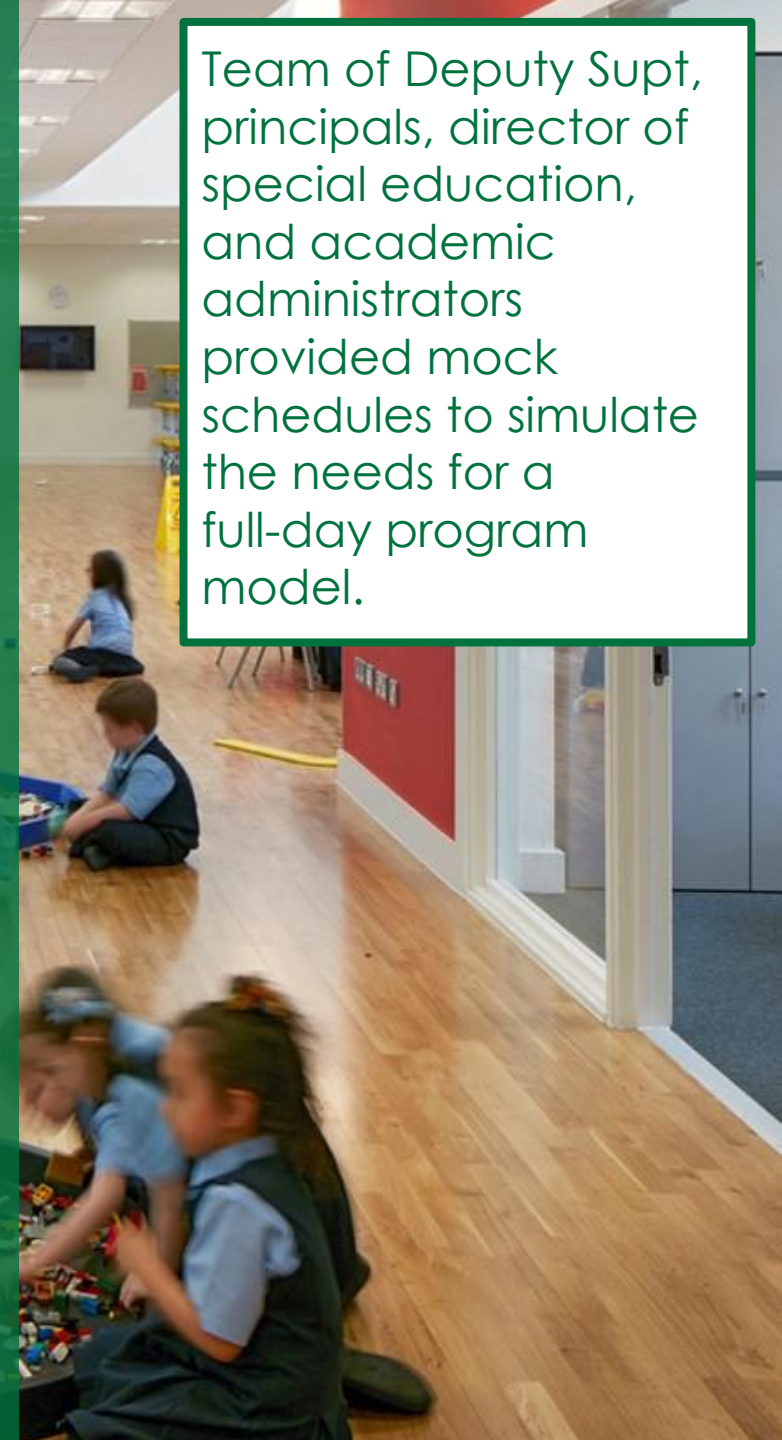
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EARLY LEARNING CENTER | Q-2 :Program Needs

The following program requirements were to be included in the Early Learning Center; based on anticipated enrollment, utilization, and SED/Code requirements:

- (40) Kindergarten classrooms- Minimally
- (2) 12:1:1 classrooms
- (2) Art classrooms
- (2) Music classrooms
- (2) Gym stations
- (1) Library
- Resource rooms (AIS, Speech, ENL, OT/PT)
- (2) Cafeterias- combined sized for 140-180 students per lunch period
- Full cooking kitchen
- Main office, Nurse, and Counseling offices
- Storage, custodial, etc.

Team of Deputy Supt, principals, director of special education, and academic administrators provided mock schedules to simulate the needs for a full-day program model.



EARLY LEARNING CENTER | Q-3: NYSED & Code

The following SED/Code requirements drove many of the design decisions:

- Minimum classroom size for kindergarten is **900 sf**
 - New spaces must meet this requirement for full building aid and SED approval
- Kindergarten classrooms must have exterior windows
- Plumbing fixture counts based on occupant load
 - Toilet rooms within the classroom are strongly recommended for all primary grades
- Overall plumbing fixture counts for the building must be met
- Stairs must provide exit capacity for occupant load
- Stairs in the Early Learning Center must be brought to current building code and SED requirements





EARLY LEARNING CENTER | Q-3: NYSED & Code

- All new construction must comply with the Americans with Disabilities Act (ADA). Existing buildings must comply to the greatest extent possible.
- Ground floor must provide exit capacity for occupant load, directly to the exterior
- No “dead end corridors”
- A library is required in buildings with 13 or more classrooms
 - Two libraries necessary with expected student count
- (2) gymnasiums (or gym stations) are required in buildings with more than 14 classrooms
- The cafeteria must be capable of serving the operating capacity of the building divided by the number of servings



KEY FACTORS THAT DRIVE LAYOUT AND DESIGN

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2. What are the specific academic **program needs**? ✓
3. What are the NYSED Requirements and Code? ✓
4. What are the factors consider for recommended layout of the space to address program needs and overall goals? ✓
5. How much will it cost to do so in comparison to if we were building from scratch?
6. How do we minimize the cost impact? Bonding strategy? State Aid? Elimination of some recurring

EARLY LEARNING CENTER | Q-4: Factors for layout

All options share the following characteristics:

- Separate entrance for Early Learning Center
- Separation of school from other use/purposes of building, ie. district operational offices, etc.
- Additional exterior doors added for exiting
- Additional stairs added for exiting
- Classrooms have individual toilet rooms
- Existing lateral bracing remains as-is
- Existing toilet rooms remain as-is for occupancy use



EARLY LEARNING CENTER | Q-4: Best Layout

Recommended Option

Over 20 layout variations were reviewed internally and a final layout is recommended, yielding the following:

- 3-story Early Learning Center completely separate
- District Operations occupies portion of existing 1st floor offices
- Portion of 2nd floor available for consolidation of district-wide services to be determined
- Portion of 3rd floor available for alternative education program (or other uses)



EARLY LEARNING CENTER | Q-4: Best Layout

Recommended Option

Pros

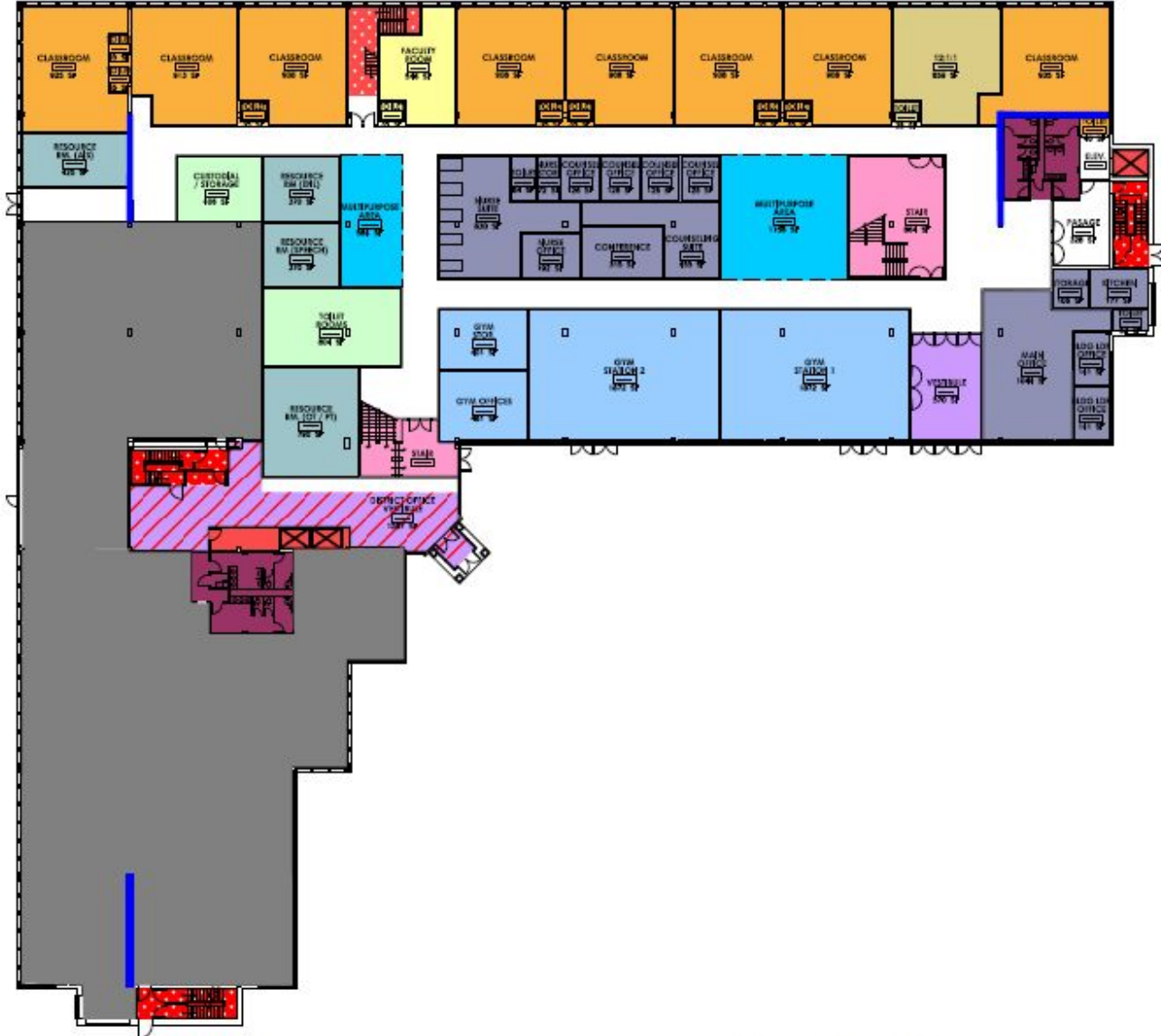
- Accommodates all spaces for the Early Learning Center
- 42 exterior classrooms...each classroom is 900 SF...
- Allows for growth and/or to move other classes (art, music, etc.) to the exterior wall so they have windows
- Early Learning Center is completely separated from other areas without duplicating stairs
- Provides large multipurpose spaces on 1st and 3rd floor to minimize travel
- Additional space on 2nd and 3rd floor for other uses (i.e. alternative education program)
- Leaves portion of existing 1st floor offices in-tact (no work needed) for consolidation of district services
- Cost efficiency of the stacked floor plan (MEP systems; cost efficiency of having identical rooms...nothing is custom)

Cons

- Students must traverse 3 floors...however, large elevator exists for groups of students and large multi-purpose rooms are available to keep programs at each floor



EARLY LEARNING CENTER | Recommended Building Layout



- LEGEND**
- Kindergarten Classrooms (8)
 - Support Classrooms
 - Special Education Spaces
 - Building Support (Mechanical/Electrical/Storage/Custodial)
 - Physical Education (Gym, Storage, Office)
 - Multipurpose Area
 - Staff Support (Faculty, Break, Copy)
 - School Offices (Main Office, Counseling, Nurse)
 - District Offices
 - (K) Vestibule / Entry - New
 - (B.O. + A.E.) Vestibule / Entry - Reconstructed
 - Toilet Rooms - Existing
 - Elevators - Existing
 - Stairs - New
 - Stairs - Existing
 - Existing Structural Bracing

- OPTION 10 - SUMMARY**
- | | |
|--------------------|---------------------|
| 8 OF 42 CLASSROOMS | OT / PT ROOM |
| 1 OF 3 SPED ROOMS | 1 OF 3 AIS ROOMS |
| 2 GYM STATIONS | 1 OF 2 ENL |
| MAIN OFFICE | 1 OF 2 SPEECH |
| COUNSELING SUITE | 1 OF 3 FACULTY ROOM |
| NURSE SUITE | DISTRICT OFFICE |

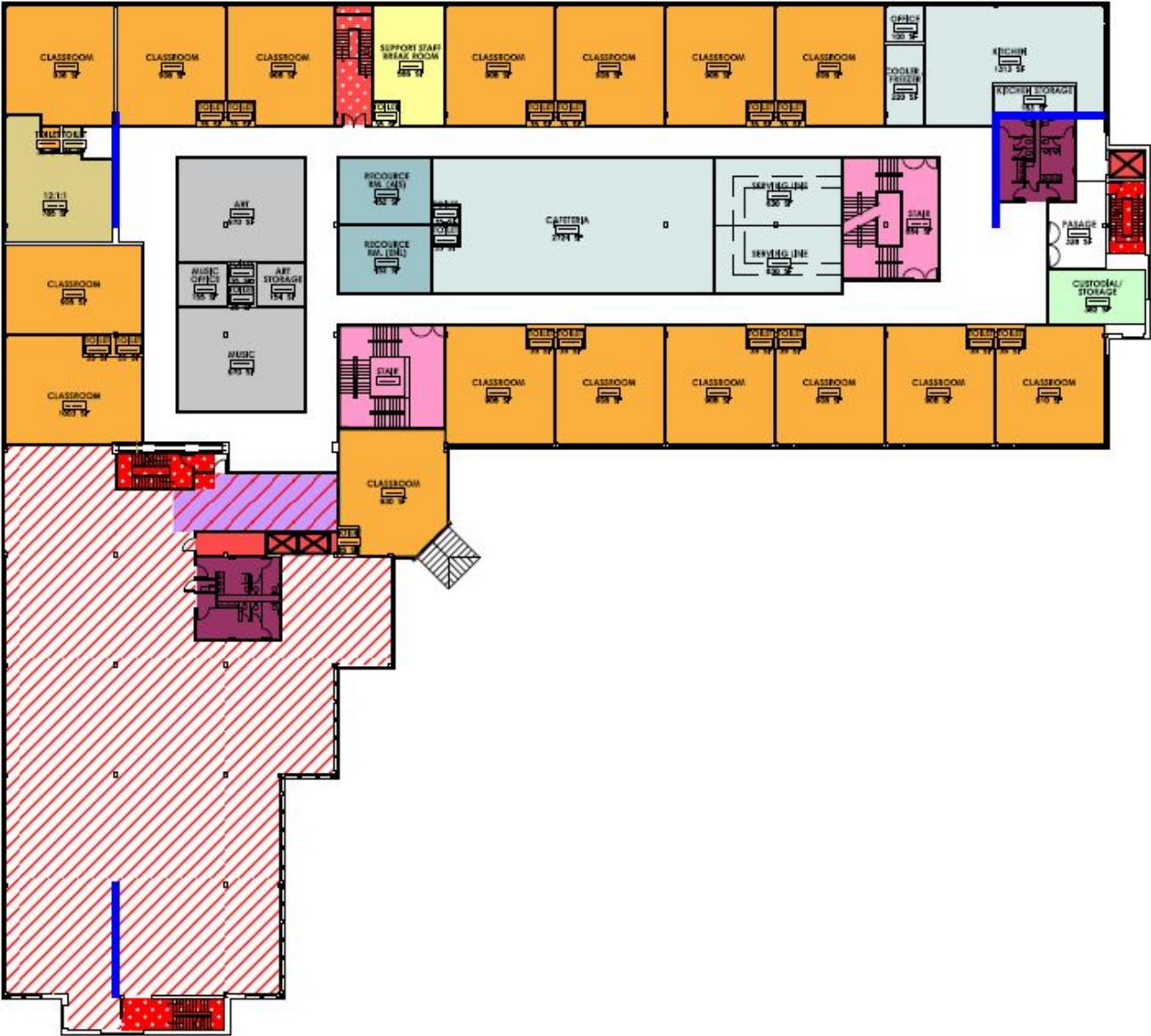


Early Learning Center
Shenendehowa Central School District
APN: 2222.0
March 27, 2023

FIRST FLOOR PLAN
Three Floor K-School,
1st FL. - D.O. & 3rd FL. A.E.
(Option 10)



EARLY LEARNING CENTER | Recommended Building Layout



LEGEND

- Kindergarten Classrooms (16)
- Support Classrooms
- Special Education Spaces
- Specials
- Kitchen/Cafeteria
- Multipurpose Area
- Staff Support (Faculty, Break, Copy)
- Building Support (Mechanical/Electrical/Storage/Custodial)
- (B.O. + A.E.) Vestibule
- Toilet Rooms - Existing
- Elevators - Existing
- Stairs - New
- Stairs - Existing
- Existing Structural Bracing
- Unassigned Space

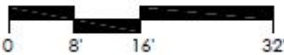
OPTION 10 - SUMMARY

16 OF 42 CLASSROOMS
1 OF 3 SPED ROOM
CAFETERIA / KITCHEN
1 OF 2 ART ROOMS

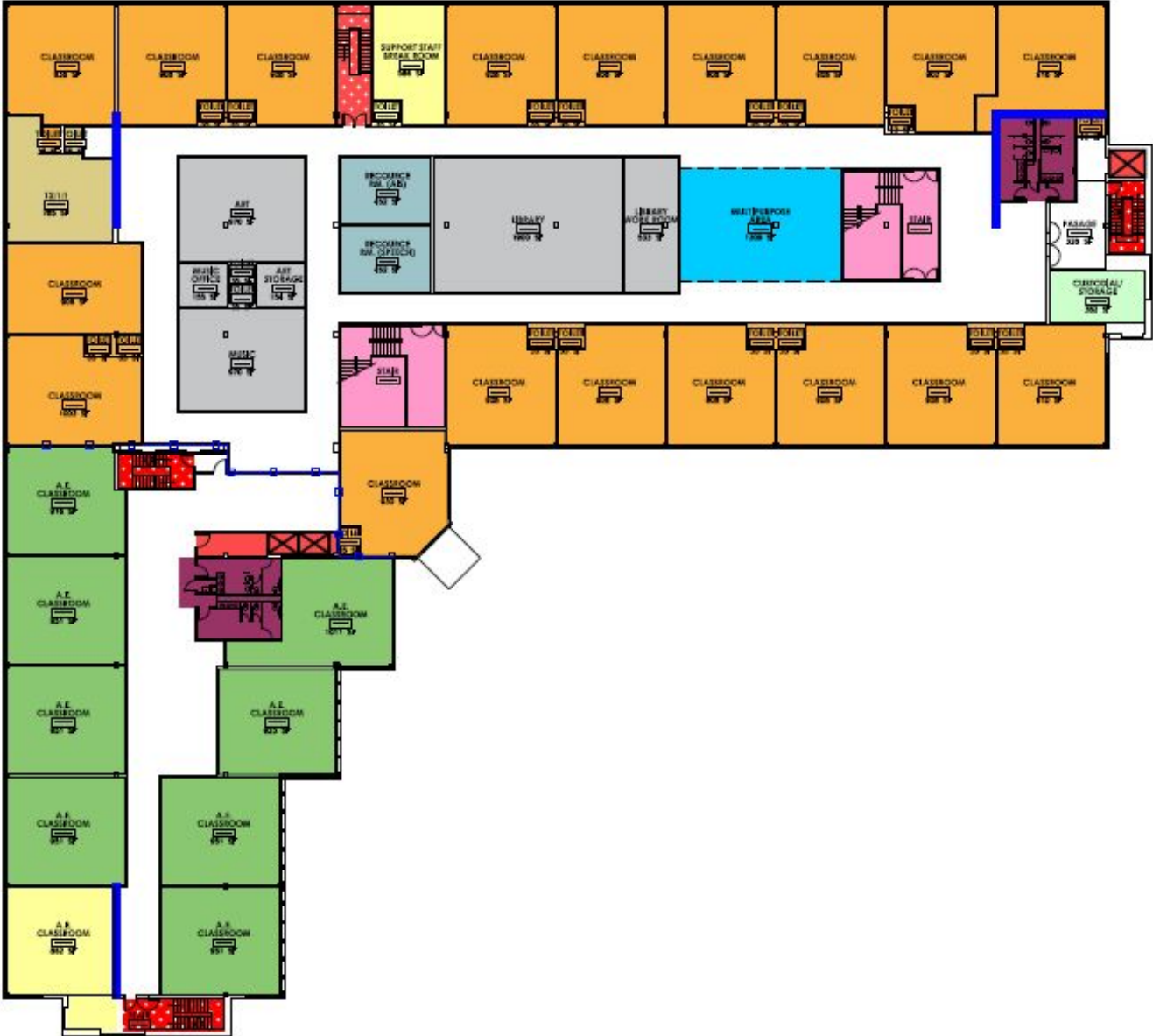
1 OF 2 MUSIC ROOMS
1 OF 3 AIS ROOMS
1 OF 2 ENL ROOMS
1 OF 3 FACULTY ROOM

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SECOND FLOOR PLAN
Three Floor K-School,
1st FL. - D.O. & 3rd FL. A.E.
(Option 10)



EARLY LEARNING CENTER | Recommended Building Layout



LEGEND

- Kindergarten Classrooms (18)
- Support Classrooms
- Special Education Spaces
- Specials
- Kitchen/Cafeteria
- Multipurpose Area
- Staff Support (Faculty, Break, Copy)
- Building Support (Mechanical/Electrical/Storage/Custodial)
- (B.O. + A.E.) Vestibule
- Toilet Rooms - Existing
- Elevators - Existing
- Stairs - New
- Stairs - Existing
- Existing Structural Bracing
- Separation Wall
- A.E. Classrooms (8)

OPTION 10 - SUMMARY

18 OF 42 CLASSROOMS
LIBRARY
MULTIPURPOSE AREA
1 OF 2 ART ROOMS

1 OF 2 MUSIC ROOMS
1 OF 3 AIS ROOMS
1 OF 2 SPEECH ROOMS
1 OF 3 FACULTY ROOM



Early Learning Center
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THIRD FLOOR PLAN
Three Floor K-School,
1st FL. - D.O. & 3rd FL. A.E.
(Option 10)



5 MAXWELL DRIVE | Proposed Site Plan



Program Requirement Feasibility - Option F

10/21/2022

Proposed Site Acreage
District Parcel 11.02 Acres

Proposed Parking
180 Spaces in Parking lots
+75 Spaces in Garage lot
255 Total Spaces Available

Program Requirements
Approximately 300,000 sf of Green Space
Fire Truck Access within 300' at Drives
Fire Hydrant within 400' Radius

- Key**
- A) Playscapes
 - B) Service Road with Loading Dock
 - C) Parent Drop-off Loop
 - D) Bus Drop-off Loop
 - E) Stormwater Management
 - F) Fire Hydrant with 400' Radius





EARLY LEARNING CENTER | Q-4: Best Layout Recommended Option

By the numbers

- **Early Learning Center covers 111,055 square feet**
 - **42 exterior classrooms**...each classroom is 900 sf
 - 36 classrooms expected to be used for Full-day K, and 6 available for pre-k purposes
 - **42 bathrooms**- one in each classroom
 - **1 library** with a combined square footage of **1,900 sf**
 - **2 gym statations** with a combined footage of **3,744 sf**
 - **Extra large cafeteria** at square footage of **2,724 sf**
 - **52 rescue windows**
 - **3 new exits**, plus **exterior doors at the gyms**, and likely need to widen/reconfigure the entrance at the east stairway



KEY FACTORS THAT DRIVE LAYOUT AND DESIGN

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Q-5: COST COMPARISON TO NEW FROM SCRATCH | Kindergarten Classrooms

Estimated Cost of constructing 110,000 sf school building from scratch
= current estimates
\$93M +

Estimate cost of constructing a 110,000 sf school building at 5 Maxwell Road
= **current estimates**
\$55-57M +

110,000 sf is the equivalent of two campus elementary schools combined- intended to accommodate **800+ students**





Recommended OPTION | Q-5: Cost

The following costs include renovations, site work, escalation, contingency, and incidentals. Furniture is not included.

Note: Renovations include the following:

- Walls, doors, casework, and finishes (ceiling, floor, etc.)
- Rescue window installed at each classroom
- New LED lighting
- New PA system
- Reconfiguration of sprinklers as required
- Upgrades to fire alarm system for school occupancy
- Upgrades to HVAC/ventilation for school occupancy
- Additional electrical/data outlets and wiring
- New plumbing at all new toilet rooms, sinks, kitchen, etc.
- Early Learning Center - \$57,343,000
- District Office* – \$0
- Alternative Education Program (3rd floor)* – add \$5,927,000
- Open portion of 2nd floor to remain as-is (no work at this time)* - \$0

*If not selected, infrastructure in these areas may require a limited amount of work at this time

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To build 44 new classrooms from scratch, estimated at \$93M+

To build 42 classrooms at 5 Maxwell, estimated at \$55M+

Cost Savings Due to Donation: Approx. \$35M+ less costly, plus added gains in capacity at existing buildings

Recommended Referendum amount not to exceed **\$55M**

Q-6: Mitigating the Impact:

- Approximately **\$25M** Reimbursed by State Building Aid
- Use of Capital Project Reserves of **\$3M** to offset amount to be borrowed
- 30 year bonding spread allows for smoothing of debt payments based on terms of borrowing(s)



Shenendehowa *Central School District*



Economies of Scale:

- Minimize or eliminate certain recurring operational costs
 - Warehouse lease expenses: \$135K
- Potential Kindergarten Transition aid to offset operational cost for initial years - TBD
- Potential use of State funding for Universal Pre-K to support operations of applicable classes
- Potential proceeds from sale of existing District Office- TBD

Q-6: Mitigating the Impact:

Full Bond payments initial impact on Budget in 2026

- Smoothing of debt payments serves to minimize the budget impact for years 1-5 minimizing
- Maturing Debts allows for potential decline over the out-years
- Strategic use of reserves to mitigate any spikes in future budgets due to added debt from capital project and buses
- Rough estimated cost of \$0.25/1000 (25 cents)



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A photograph of three children sitting at a wooden table, drawing on large sheets of paper with markers. One child is drawing a red figure, another a blue figure. The background is a green overlay with faint images of children drawing.

Q-7: TIMELINE | NEW Construction Vs. Renovations

Anticipated timeline for proposed additions/renovations

Design	May 2023 - January 2025
Permitting	January 2025 – May 2025*
Bidding	May 2025 – July 2025
Construction	July 2025 – January 2027

Anticipated timeline for 5 Maxwell)

Design	May 2023 - May 2024
Permitting	May 2024 – September 2024*
Bidding	September 2024 – November 2024
Construction	November 2024 – January 2026

*Based on current SED review times. Subject to change.

Phased construction schedule would provide for the completion of some rooms to be turned over earlier allowing for furniture set up

Questions?





ADDITIONAL KEY DISCUSSION POINTS

What if there are still concerns about cost escalation and questions about the need for further analysis and cost estimations?

What if there are doubts about the community appetite, more time needed to articulate the cost implications?

What are the implications of delaying?
Timeline impact?



TIMELINE | ALT. OPTION- DELAY

- Delay to allow for more time to engage in more detail analysis and cost estimations
- Delay to allow for more time to assess the trends for cost escalations
- Delay to allow for more time to develop the appetite of the community for a sizable cost for a significant addition to the District's Capacity...the project is a legacy action

Tentative timeline for 5 Maxwell

Referendum Vote	October 2023
Design	Oct. 2023 - Oct. 2024
Permitting	Oct. 2024 – Feb. 2025*
Bidding	Feb. 2025 – April 2025
Construction	April 2025 – July 2026

*Based on current SED review times. Subject to change.